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2/10/2020

Marlet/Robert Rikard
222 Ascot Pl. N.E.
Washington, D.C. 20002
Cell-202-841-5769

D.C. Board of Adjustment
Case # 20196
Special Exceptions
DCRA Permit # B1912718

Ref: Opposition to a rear Deck and Parking Space
and rear yard that does not conform to DCRA
rules and regulations.

To Whom It May Concern:

The request for special exception to permit this construction on the rear of 220 Ascot Pl N.E. will have a substantial adverse affect on our use and/or enjoyment of our dwelling and property. Zoning Regulations are in place so that everyone can be protected from non-conforming construction that would impact their living in any kind of way. The proposed work involves excavation on the owner's property and the related need to support an ad-joining property, including land and any structures located on the adjoining property. This work will also impact the structural support of a party wall and party line. Please review Photos A-E that are attached. The over size deck and railing will affect our sight line from our back porch do to it's proposed construction. We are requesting a modification in the size of this project, so that it's in line with DCRA zoning and regulation.

Board of Zoning Adjustment
District of Columbia
CASE NO. 20196
EXHIBIT NO. 44

Thank You Robert Rikard

#39



DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
OFFICE OF THE ZONING ADMINISTRATOR

-REVISED-

January 30, 2020

REFERRAL MEMORANDUM

TO: Board of Zoning Adjustment

FROM: Matthew Le Grant, Zoning Administrator *MLL
WTS*

PROJECT INFORMATION:

Address:	220 Ascot Place NE
Square, Suffix, Lot:	Square 3557, Lot 0069
Zoning District:	R-3
DCRA Permit #:	B1912718

SUBJECT: Construction of a rear deck.

Review of the plans for the subject property referenced above indicates that Board of Zoning Adjustment approval is required as follows:

1. Special exception to permit a rear deck that does not conform to the maximum lot occupancy permitted pursuant to D-304.1, D-5202.1, (X-900.2).
2. A special exception to permit a rear deck that does not conform to the minimum rear yard required pursuant to D-306.2 (D-5201.1 (b) and X-901.2).

** Doesn't conform and should not be allowed. modification and adjustment should be made!*

Note: All applicants must provide the Office of the Zoning Administrator with submission verification, in the form of a formal receipt from the BZA, within 30 days of the date of this memo. If the BZA Memorandum is not submitted within 30 days, the applicant must request an updated memorandum from the Office of the Zoning Administrator.

Board of Zoning Adjustment
District of Columbia
CASE NO. 20196
EXHIBIT NO. 39
FY-19-84-Z | SG

NOTES AND COMPUTATIONS					
Building Permit #:	B1912718	Zone:	R-3	N&C Cycle #:	1
DCRA BZA Case #:	FY-19-84-Z	Existing Use:	Single-Family Dwelling	Date of Review:	January 30, 2020
Property Address:	220 Ascot Place NE	Proposed Use:	Single-Family Dwelling	Reviewer:	Shawn N. Gibbs
Square: 3557	Lot(s): 0069	ZC/BZA Order:			

Item	Existing Conditions	Minimum Required	Maximum Allowed	Provided by Proposed Construction	Variance Deviation/%	Notes/Zoning Relief Required
Lot area (sq. ft.)	1115	2000	n/a	1115	n/a	n/a
Lot width (ft. to the tenth)	18.6	20.0	n/a	18.6	n/a	n/a
Building area (sq. ft.)	734.3	n/a	669.0	957.4	n/a	n/a
Lot occupancy (total building area of all buildings/lot area)	65.9	n/a	60.0	62.6	2.6%	Special Exception
Principal building height (stories)	2	n/a	3	2	n/a	n/a
Principal building height (ft. to the tenth)	n/a	n/a	40.0	n/a	n/a	n/a
For portion of a story, ceiling height above the adjacent finished grade (ft.)	n/a	n/a	n/a	n/a	n/a	n/a
Front yard (ft. to the tenth)	0.0	n/a	n/a	0.0	n/a	n/a
Rear yard (ft. to the tenth)	20.5	20.0	n/a	8.5	11.5	Special Exception
Side yard, facing principal building front on right side (ft. to the tenth)	0.0	0.0	n/a	0.0	n/a	n/a
Side yard, facing principal building front on left side (ft. to the tenth)	0.0	0.0	n/a	0.0	n/a	n/a
Vehicle parking spaces (number)	0	1	n/a	0	n/a	Parking Credit - 1 Pkg. Sp.
Pervious surface (%)	n/a	n/a	n/a	n/a	n/a	n/a
<i>If there is an accessory building:</i>						
Accessory building height (stories)	n/a	n/a	n/a	n/a	n/a	n/a
Accessory building height (ft. to the tenth)	n/a	n/a	n/a	n/a	n/a	n/a
Accessory building area (sq. ft.)	n/a	n/a	n/a	n/a	n/a	n/a
Accessory building setback from center line of alley (ft.)	n/a	n/a	n/a	n/a	n/a	n/a
<i>If there is an accessory apartment:</i>						
Accessory apartment (#)	n/a	n/a	n/a	n/a	n/a	n/a
Principal building gross floor area (sq. ft.)	n/a	n/a	n/a	n/a	n/a	n/a
Accessory apartment square footage (sq. ft.)	n/a	n/a	n/a	n/a	n/a	n/a
Accessory apartment % of principal dwelling total floor area (%)	n/a	n/a	n/a	n/a	n/a	n/a
<i>Other:</i>						

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#41



MEMORANDUM

TO: District of Columbia Board of Zoning Adjustment
FROM: Stephen Cochran, Project Manager
Joel Lawson, Associate Director Development Review
DATE: January 31, 2020
SUBJECT: BZA Case 20196 - Special Exceptions to allow a rear deck addition to an existing rowhouse at 220 Ascot Place, NE

I. OFFICE OF PLANNING RECOMMENDATION

The Office of Planning (OP) recommends **approval** of the following special exceptions pursuant to Subtitle D § 5201:

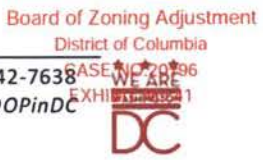
- D § 306.2 Rear Yard, (20 ft. minimum rear yard required; 8.5 ft. rear yard proposed)
- D § 304.1 Lot Occupancy, (60% maximum lot occupancy, 70% maximum by special exception; 62% lot occupancy proposed).

Does not conform to DCA rules.

OP's recommendations reflect the revised applicant filing of Exhibit 37, and a new referral memorandum from the Zoning Administrator (Exhibit 39), based on a corrected calculation of existing and proposed lot occupancy.

II. LOCATION AND SITE DESCRIPTION

Address:	220 Ascot Pl, NE
Applicant:	Sonia Ahmed and Farzaam Esmaelian (Gadi Romen, agent)
Legal Description:	Square 3557, Lot 0069
Ward / ANC:	5 / 5E
Zone:	R-3
Lot Characteristics:	Rectangular, flat, 1,115 SF interior lot (18'7" wide x 60' deep). The lot abuts a 15 feet wide alley.
Existing Development:	Attached two-story, single-family rowhouse.
Adjacent Properties:	Similar row houses to the east and west.
Surrounding Neighborhood Character:	The character is predominantly two-story single-family rowhouses. Trinity University and Greenwood Cemetery are 1½ blocks to the west and southwest.
Proposed Development:	The applicant proposes to construct a two-story rear addition which would extend the building's footprint 10 feet past the furthest rear wall of the adjoining property to the east and 13.25 feet beyond the rear wall of the property to the west.



III. ZONING REQUIREMENTS and RELIEF REQUESTED

R-3 Zone	Regulation	Existing ¹	Proposed ¹	Relief
Lot Area D § 302	2,000 SF min.	1,115 SF	Same	None required. Existing non-conformity
Lot Width D § 302	20 ft. min.	20 ft.	20 ft.	None required
Height D § 303	40 ft., 3 stories max.	~25 ft./2 stories	Same	None required
Lot Occupancy D § 304	60% max. 70% by S.E.	46 %	62 %	Special Exception Requested
Rear Yard D § 306	20 ft. min.	68 ft.	58 ft.	Special Exception Requested
Parking C § 701	1 space min.	None. (pre-58 parking credit)	None	None required

¹ Information provided by applicant.

IV. OP ANALYSIS

Subtitle D Chapter 5201 ADDITION TO A BUILDING OR ACCESSORY STRUCTURE

5201.1 *The Board of Zoning Adjustment may approve as a special exception in the R zones relief from the following development standards of this subtitle, subject to the provisions of this section and the general special exception criteria at Subtitle X, Chapter 9:*

- (a) **Lot occupancy;**
- (b) **Yards;**
- (c) **Courts;**
- (d) **Minimum lot dimensions;**
- (e) **Pervious surface; and**
- (f) **The limitations on enlargements or additions to nonconforming structures as set forth in Subtitle C § 202.2.**

5201.2 *Special exception relief under this section is applicable only to the following:*

- (a) **An addition to a residential building;**
- (b) **A new or enlarged accessory structure that is accessory to such a building; or**
- (c) **A reduction in the minimum setback requirements of an alley lot.**

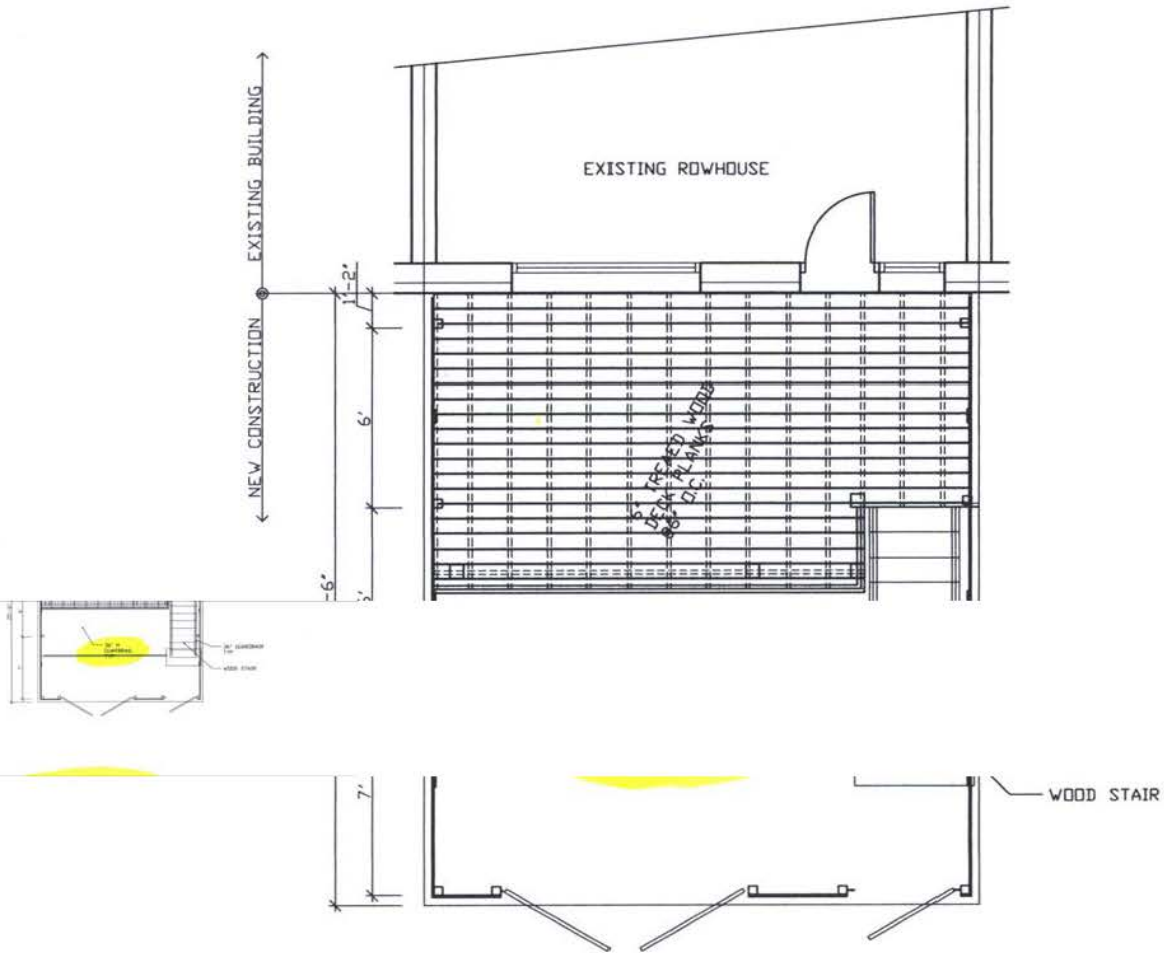
The applicant proposes to construct a rear deck addition to a residential rowhouse. The deck is 10-foot deep a replacement for a 6-foot deep metal rear deck that the applicant states required demolition in 2019 due to its rusted condition.

5201.3 *An applicant for special exception under this section shall demonstrate that the proposed addition or accessory structure shall not have a substantially adverse effect on the use or enjoyment of any abutting or adjacent dwelling or property, in*

Will unduly affected use or enjoyment

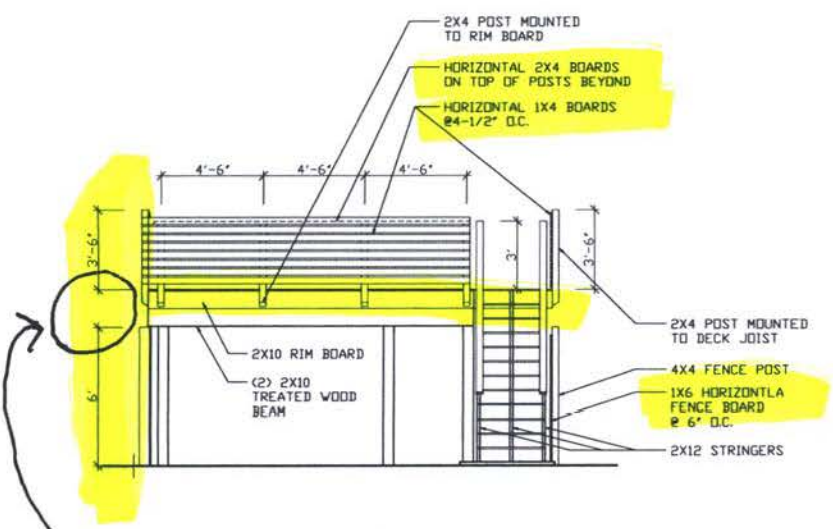
Does not conform to DCR A

#6



1 FLOOR PLAN
A-01 SCALE: 1/4"=1'-0"

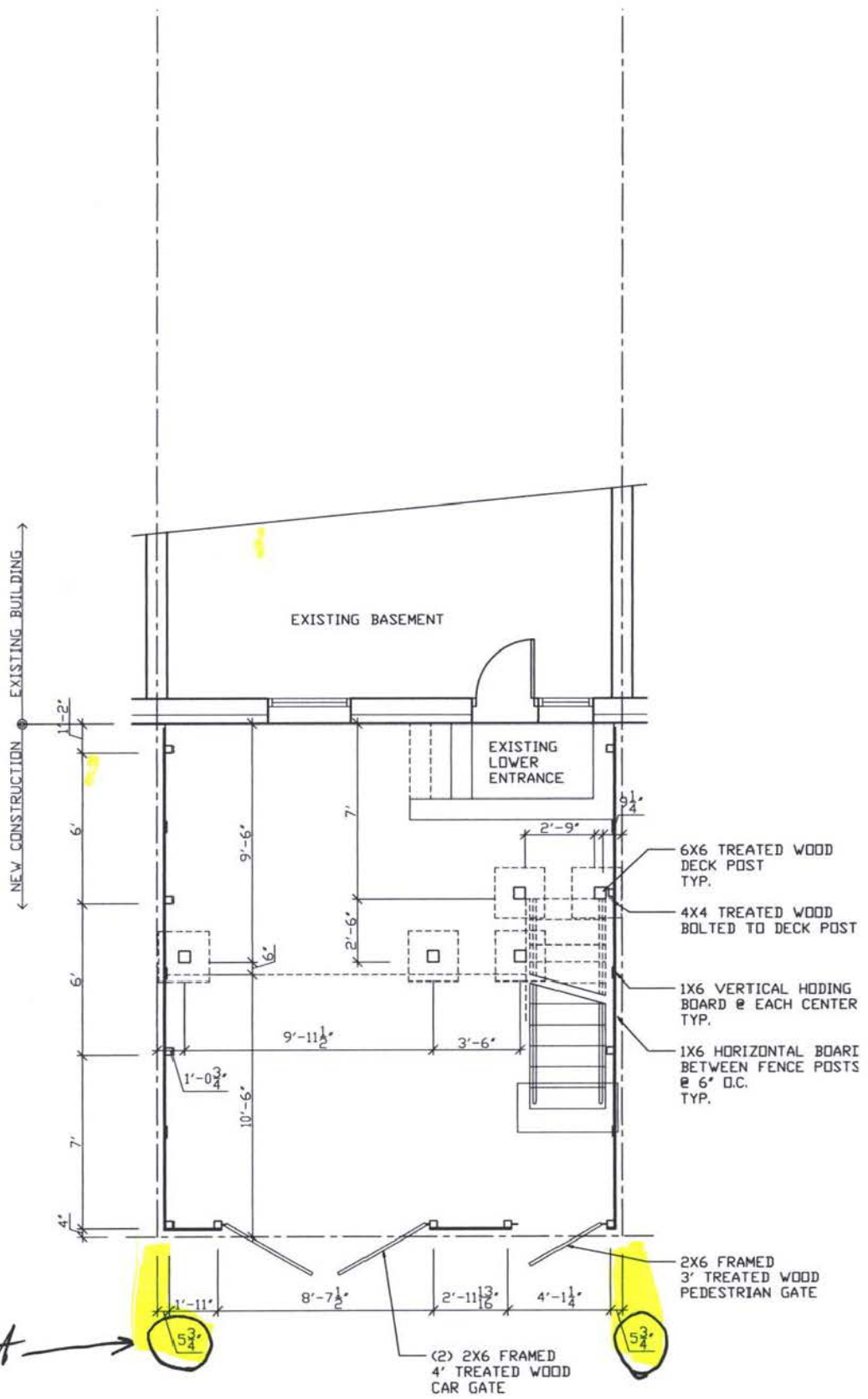
#7



what's this elevation

1 FRONT ELEVATION
A-03 SCALE: 1/4"=1'-0"

#13



is this correct →

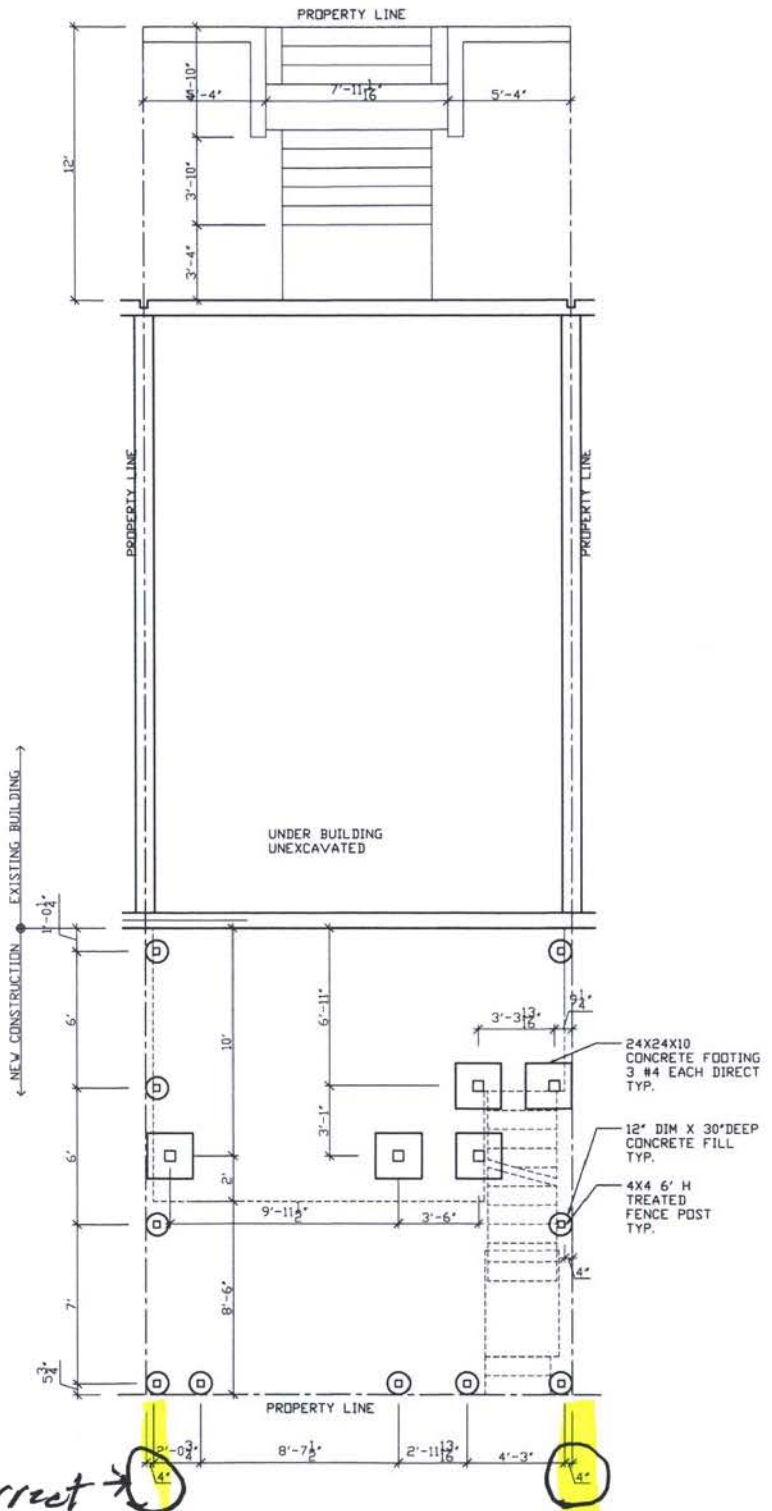
1 **GROUND LEVEL PLAN**
 S-02 SCALE: 1/4"=1'-0"

14

1

SCALE: 1/4" = 1'-0"

FOUNDATION PLAN

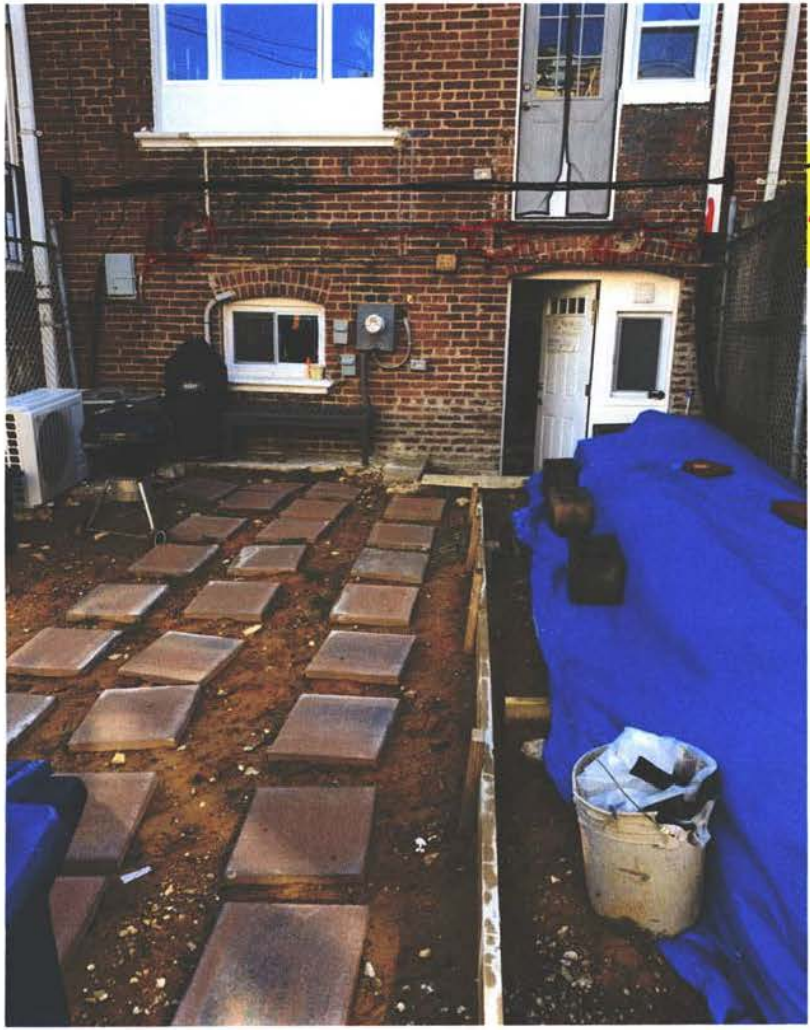


is this correct →

Board of Zoning Adjustments
City of Columbia
Case No. 2018-0018
Exhibit No. 15

#16-1

Rear side of 220 Ascot PL NE-



- New Location of wooden Deck
- Old Location of Metal Porch.

1066

#16-2



Rear side of 220 Ascot Pl. NE.

New Location of wooden Deck
→ old location of metal porch

Directly opposite 220 Ascot PL NE Alley way-



Board of Zoning Adjustment
DC - Case # 20196
Exhibit # 16

Photo - A
Damage due to
excavation by adjoining
property owner at 220 H



Photo-B

Damage Out to excavation
by adjoining Property
owner's at 220 Ascot



Photo-C

Damage Due to
EXVaction by owner's
at 220 Ascot



Photo - D
Height and width
will be unduly affecting
our line of sight.

3'6"

6"
H

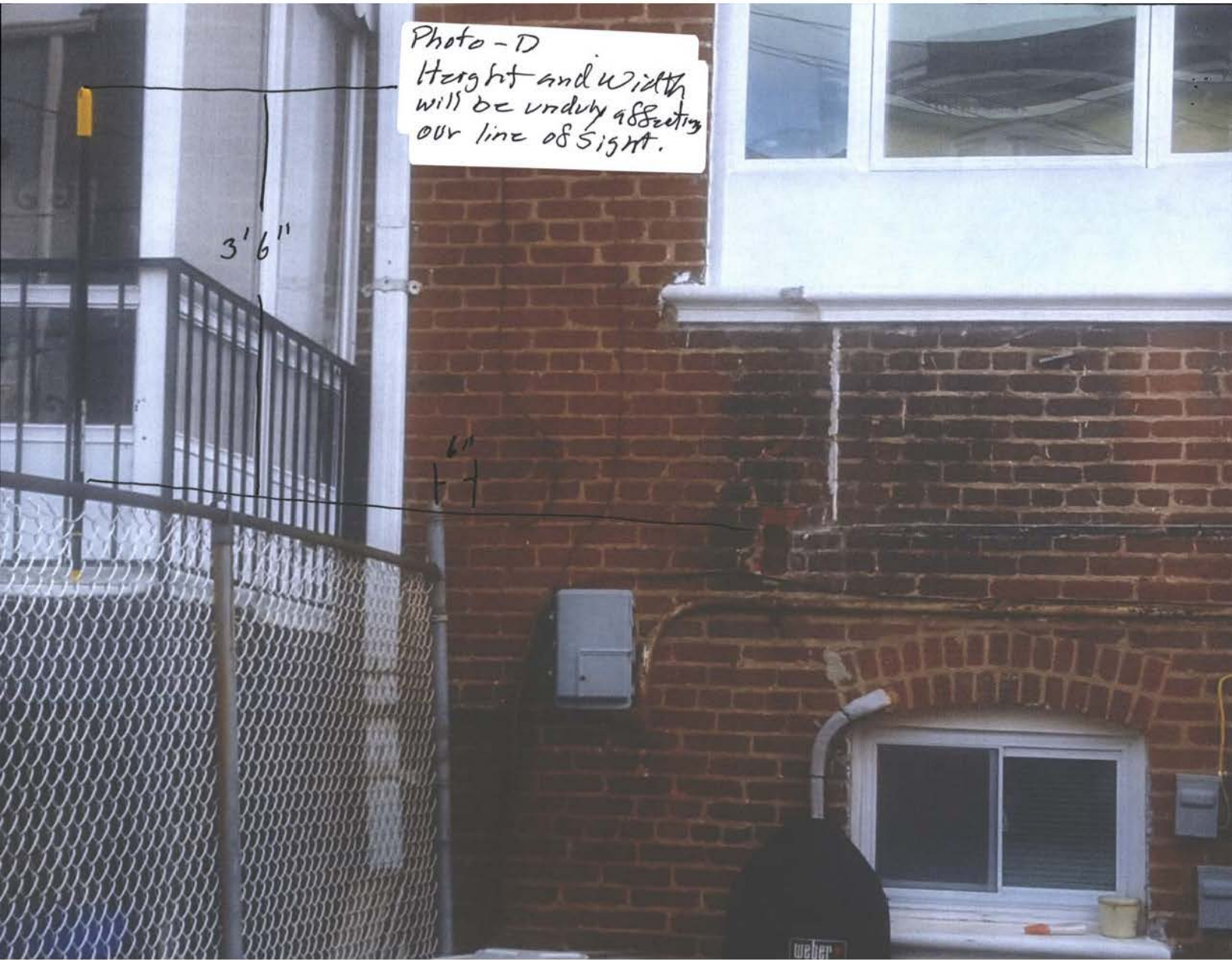


Photo - E
closeness of Deck
and rail will be unduly
affected.



Location
of Deck
and Rail.